

The Keadby Next Generation Power Station Project

Document Ref: 2.17

Planning Inspectorate Ref: EN0110001

The Keadby Next Generation Power Station Development Consent Order [year]

Land at, and in the vicinity of, the existing Keadby Power Station (Trentside, Keadby, Scunthorpe DN17 3EF)

Pilfrey Laydown Plans

The Planning Act 2008

The Infrastructure Planning (Applications: Prescribed Forms and Procedure) Regulations 2009 Regulation 5(2)(o)

Applicant: Keadby Next Generation Limited

Date: August 2025

Version: V0

Document History

Document Ref	2.17 / Piffrey Laydown Plans
Version	V0
Document Owner	AECOM

The Keadby 3 Low Carbon Gas Fired Generating Station

Document Ref: 4.20

Planning Inspectorate Ref: EN010114

**The Keadby 3 (Carbon Capture Equipped Gas Fired Generating
Station) Order**

**Land at and in the vicinity of the Keadby Power Station site,
Trentside, Keadby, North Lincolnshire**

Pilfrey Laydown Plans

The Planning Act 2008

**The Application (Prescribed Forms and Procedure) Regulations
2009**

Regulation 5(2)(o)

Applicant: Keadby Generation Limited

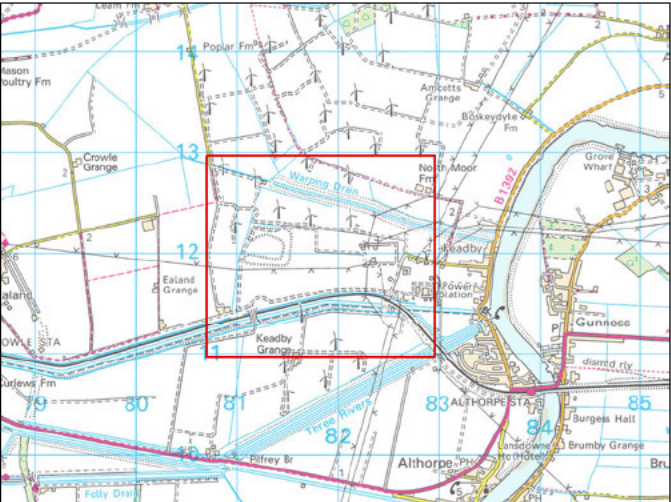
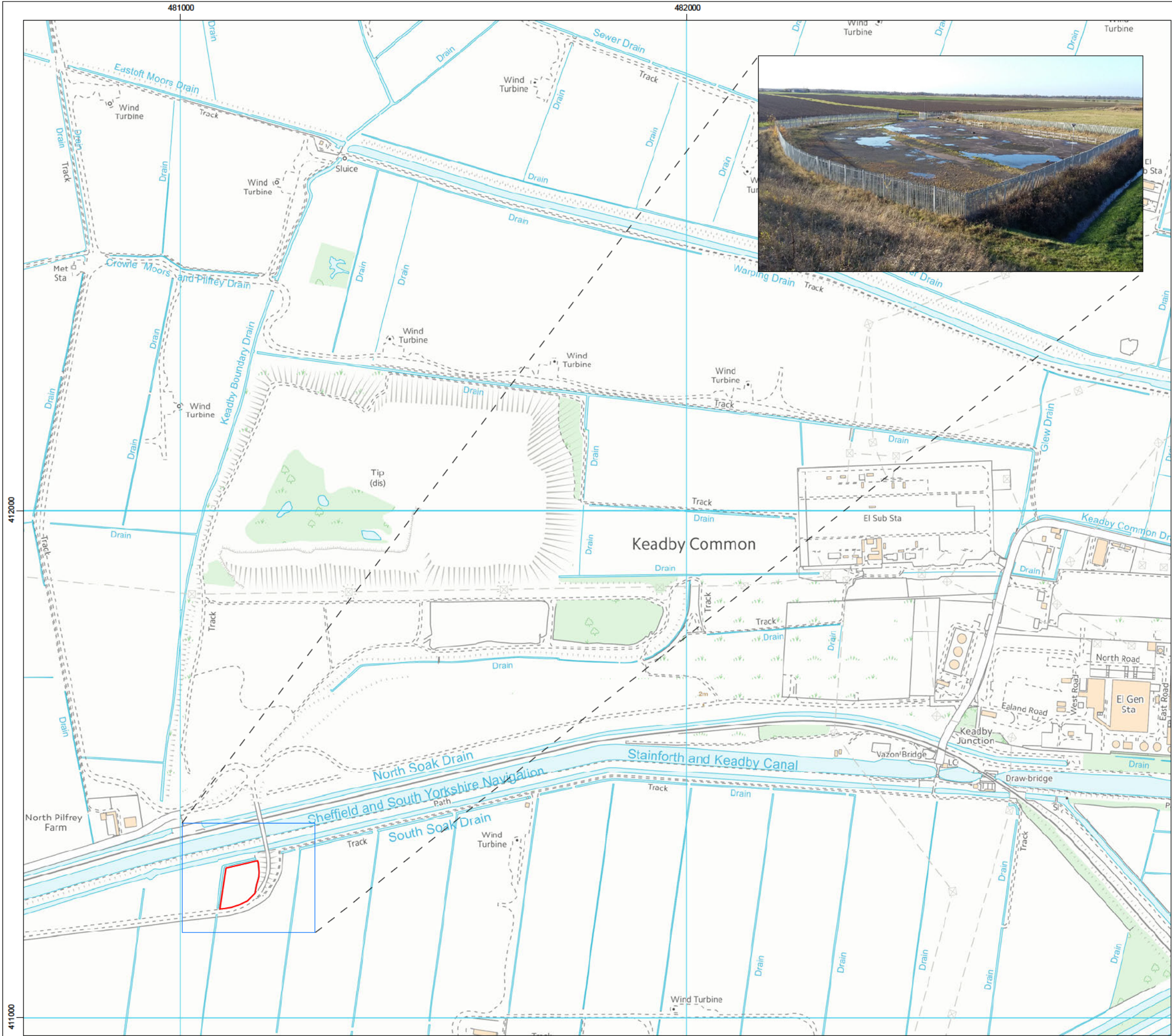
Date: May 2021

DOCUMENT HISTORY

Document Ref	4.20
Revision	VP1.0
Author	DWD

Contents

Reference given in condition 2 of planning decision reference PA/2018/1950	Brief Description	Sheet in this document
LY200002-KEA2-SID-SK-0009-01 (site location plan)	Site Location Plan	1
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Site Layout Plan	Site Layout Plan	3
Covering Letter Dated 01.10.2018	Covering Letter	4-6



Legend

Laydown Area - 0.52ha



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Project Name

KEADBY 2

Drawing Title

LAYDOWN AREA

Rev	Date	Remarks	Drwn	Chkd
R0	07/06/2018	First issue	MM	MW

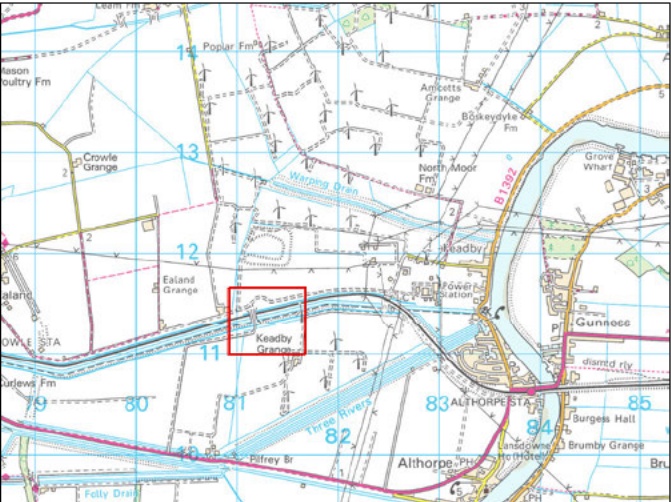
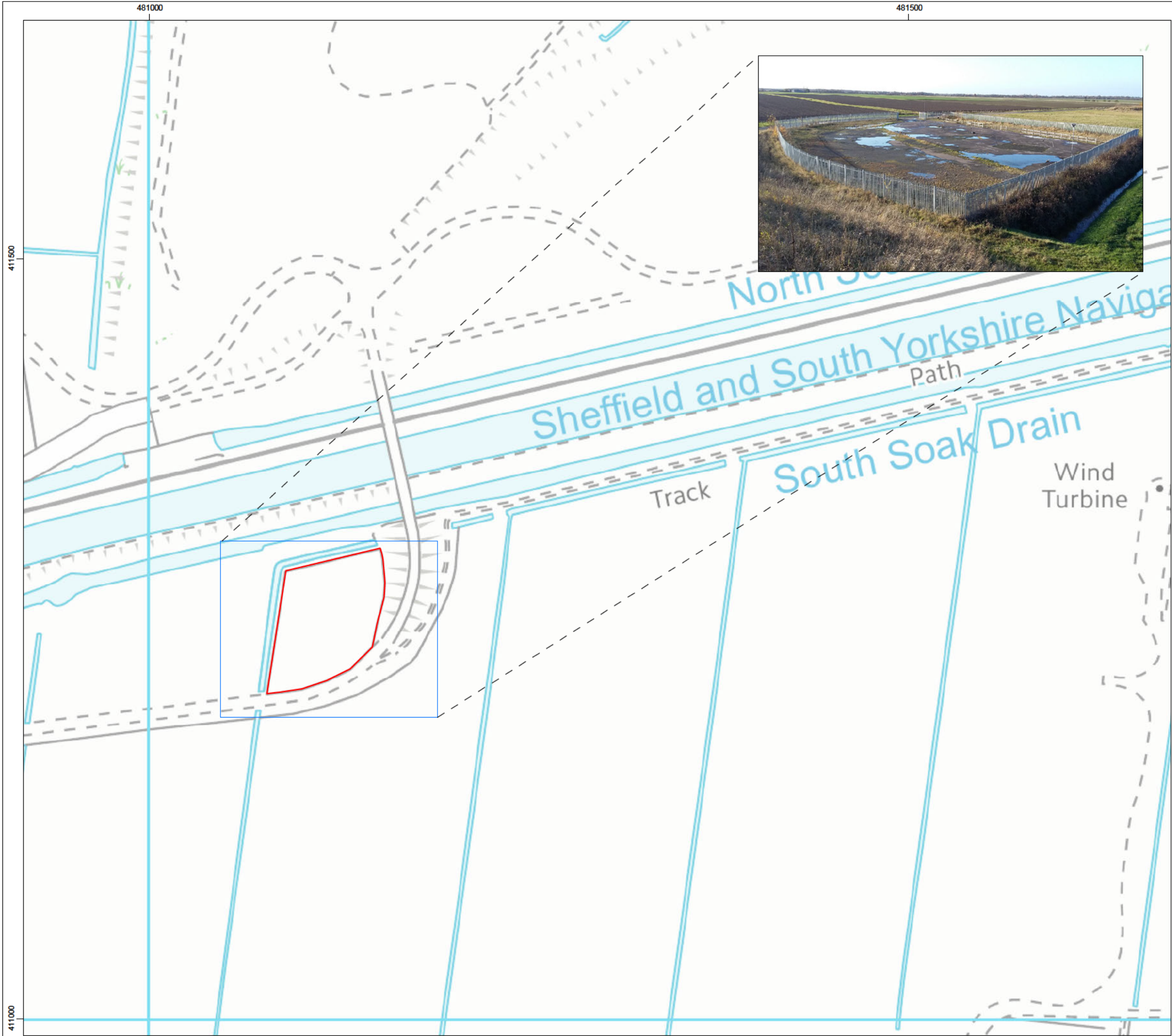
Drawing Number

LY200002-KEA2-SID-SK-0009-01

Scale	Plot Size	Datum	Projection
1:7,500	A3	OSGB36	BNG

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Legend

Laydown Area - 0.52ha

03060120m

N

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Project Name

KEADBY 2

Drawing Title

LAYDOWN AREA

Rev	Date	Remarks	Drwn	Chkd
R0	07/06/2018	First issue	MM	MW
R1	06/08/2018	Scale changed	MM	MW

Drawing Number

LY200002-KEA2-SID-SK-0009-01

Scale	Plot Size	Datum	Projection
1:2,500	A3	OSGB36	BNG

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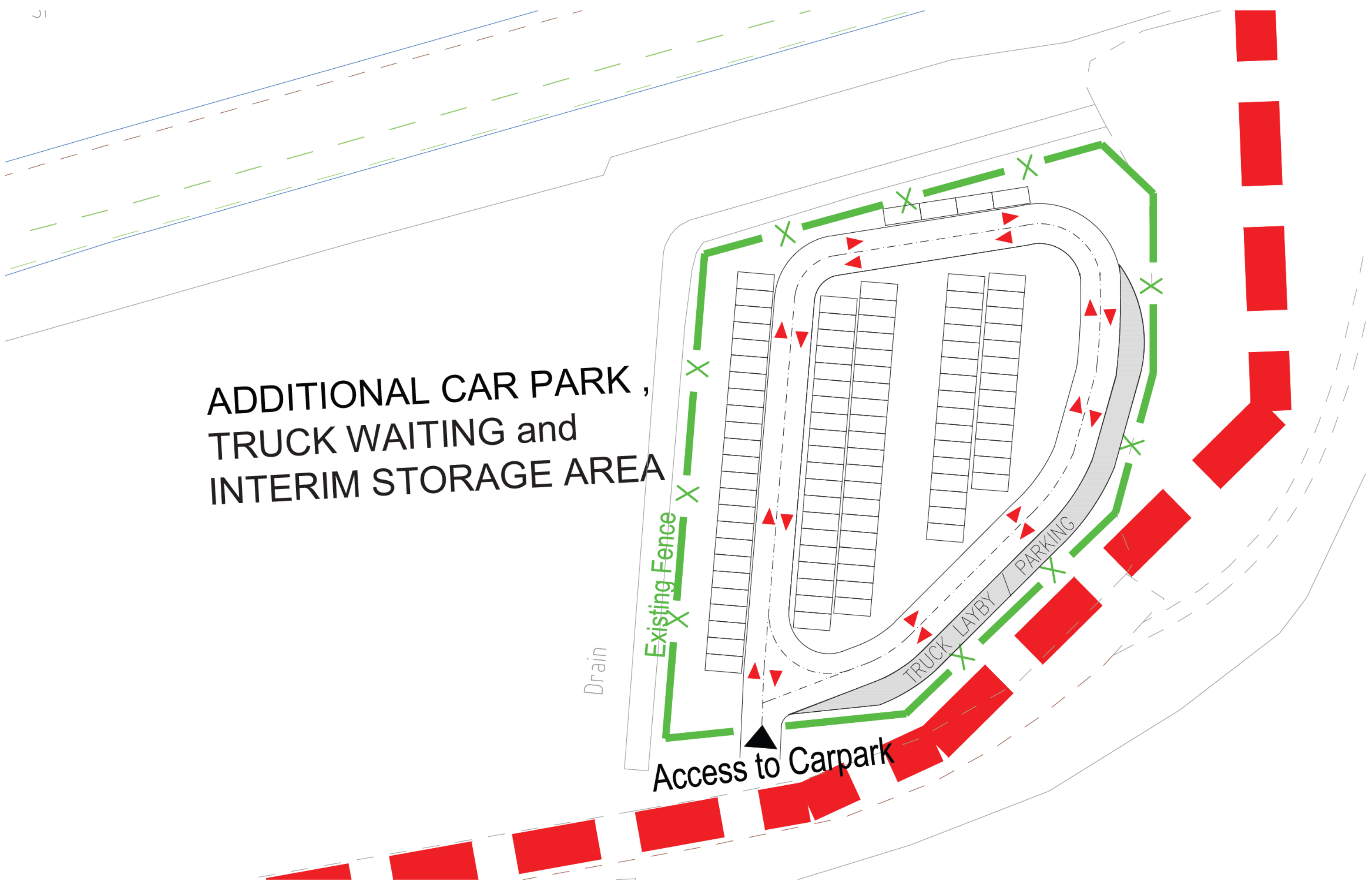
ADDITIONAL CAR PARK ,
TRUCK WAITING and
INTERIM STORAGE AREA

Drain

Existing Fence

Access to Carpark

TRUCK LAYBY / PARKING



Date: 01.10.18
Our Ref: 2941K



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██████████
Strategic Development Officer
North Lincolnshire Council
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Ashby Road
Scunthorpe
DN16 1AB

Dear Andrew,

KEADBY DEVELOPMENTS LIMITED

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)

PLANNING APPLICATION FOR RETENTION OF TEMPORARY CONSTRUCTION LAYDOWN AND PARKING AREA ADJACENT TO AND SOUTH WEST OF PILFREY BRIDGE, KEADBY FOR USE IN CONNECTION WITH THE KEADBY 2 POWER STATION PROJECT

I write on behalf of Keadby Developments Limited (KDL) to submit an application for full planning permission under the Town and Country Planning Act 1990 (as amended) (the '1990 Act'). The application seeks permission for the temporary retention and use of an existing construction laydown and parking area for the period of four years in connection with the Keadby 2 Power Station Project (the 'Proposed Development').

The construction laydown parking area (the Application Site) was previously used in connection with the construction of the Keadby Wind Farm development. The Application site comprises land adjacent to and south-west of the Pilfrey Bridge, south of the Stainforth and Keadby Canal.

The application comprises following documents:

- Application Covering Letter (this document)
- Application Forms
- Site Location 'Laydown Area' Plan ref. LY200002-KEA2-SID-SK-0009-01
- Red line 'Laydown Area' Plan ref. LY200002-KEA2-SID-SK-0009-01_R01
- Site Layout Plan ref. GB1036_ABG020-900001_Rev1

The application has been submitted via the Planning Portal (ref. PP-07314117). The application fee is ██████████ and has been settled via electronic payment.

Background to the Application

The Application Site (the 'Site') was previously used for the construction of the Keadby Wind Farm development, which was consented by the Secretary of State ('SoS') on 28 February 2008 under Section 36 of the Electricity Act 1989. During the construction of the Wind Farm, the Site was utilised for both the laydown of construction materials and large loads associated with the wind

DWD LLP
Regulated by RICS



turbines as well as parking. Since the completion of the Wind Farm Development in December 2013, the Site has been left securely fenced and vacant.

KDL is now proposing to use the Site for the same purpose of construction laydown and parking in connection with the Keadby 2 Power Station Project. It is proposed that the Site would be utilised for this purpose for the duration of the construction works, spanning a four-year period. Approximately 97 parking spaces are proposed, including a truck layby and parking area in the south east corner of the Site, these are illustrated on submitted 'Site Layout Plan' (Ref: GB1036_ABG020-9000001_Rev1).

The Keadby 2 Power Station Project was originally consented by the SoS on 10 September 1993 pursuant to Section 36 of the Electricity Act 1989. The consent provided for the construction and operation of a 710 megawatt ('MW') combined cycle gas turbine ('CCGT') power station. The consent was varied by KDL in 2016 and 2017 to allow for the construction and operation of a CCGT power station with a capacity of up to 910 MW. Works are expected to commence on Keadby 2 from June 2019, continuing for 4 years.

It should be noted that vehicle movements onto and off the Site would adhere to the levels assessed as part of the variation of the Keadby 2 consent in 2016 (Environmental Statement Chapter 11 - Traffic and Transport – dated February 2016. It should also be noted that the Keadby Section 36 Consent requires a Traffic Management Plan (showing details of all associated traffic movements) to be submitted to and agreed with the Local Planning Authority prior to the commencement of development.

The Application Site and the Proposed Development

The Site is located 1.5Km to the west of Keadby Power Station and is surrounded by agricultural land. The Site comprises a 0.5ha section of flat hardstanding, with 50 parking spaces currently marked out. It is located on the south-west side of the Pilfrey Bridge. It has been vacant and unused since the construction of the Keadby Wind Farm was completed in late 2013. It therefore provides a suitable area for construction laydown and parking purposes, this time for the Keadby 2 development.

The Site is connected to its southern perimeter by an access road (also constructed as part of Keadby Wind Farm development) which connects the A18 to Pilfrey Bridge and the wider Keadby Power Station site to the north. The use of this Wind Farm access road from the A18 is planned and consented as part of the Keadby 2 construction, meaning that the Site is well located for re-use for construction laydown and parking.

The Site lies in Flood Zone 3, the most significant flood zone. However, the site is well under 1 hectare in area and a flood risk assessment was previously prepared in 2007 as part of the Keadby Wind Farm Section 36 application. This application proposes no changes to the size or purpose of the Site. Therefore, it remains aligned with the conclusions of the previous assessment. It should also be noted that the use of the Site to laydown materials and park vehicles would be temporary and the type of use is of limited vulnerability in terms of flooding. It is therefore considered that the Proposed Development is acceptable in flood risk terms.

The Site is secured externally on its perimeter via a metal palisade fence, and as confirmed above, comprise of flat hardstanding. There are no trees on site and only very limited vegetation. It is therefore considered that the Site has no ecological potential. The Site in its current state is shown in Figure 1 below.

Figure 1: The Site at present

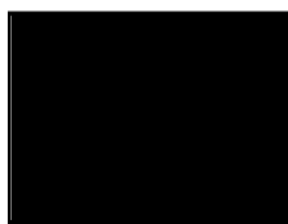


Summary

The Site is proposed to be retained temporarily and used for its originally consented purpose (laydown and parking) for the period of 4 years. The Site has been vacant and secure since late 2013, its use over the next 4 years is essential to the construction of Keadby 2. Given the minimal scope of the proposals and the significance of the Site to a major energy infrastructure project, it is considered that planning permission be granted by the LPA.

We trust that we have provided sufficient information for the LPA to validate the application and look forward to receiving confirmation of this in due course. However, in the meantime, should you require have any questions or require any additional information please do not hesitate to contact me.

Yours sincerely,



DWD LLP

